

Shasta Regional Transportation Agency

Handicapped Improvements

March 16, 2015

Site Improvements

- Replace existing Handicapped Parking Tow-Away sign.
- Remodel existing handicapped parking stall & access aisle to provide 2% slope & cross slope maximum (remove existing concrete curb ramp at access aisle & modify asphalt paving for allowable slope & cross slope) Restripe parking stall and access aisle.
- Replace existing handicapped parking stall van signage.
- Replace existing concrete sidewalk at main entry doors.
- Provide ADA directional signage at handicapped path of travel (at rear sidewalk & at main sidewalk, at intersection of public & main sidewalk).

Building

- Adjust Main Building Entry doors, Suite #201 Entry door & Suite #202 entry door, not to exceed 5lbs opening force and 5 second minimum closing speed.
- Provide Tactile Exit Sign at First Floor exterior door.
- Provide 2" wide warning strip at stairs- (Typical at front stairs and back stairs).
- Remodel existing stairs to provide 12" handrail extensions (Typical at front stairs and back stairs).
- Provide handrail at both sides of rear stairs.
- Provide ADA Lease Space Identification Signage at Lease Space #201 #202.
- Provide ADA Exit Route signage and ADA Directional signage at Lease Space #201 & #202 and both stairs.
- Completely remodel existing Men's & Women's Restrooms to become fully ADA compliant.

Attachment

See attachment 'A' for existing Site Plan.

Accessibility Compliance Items

1) Accessibility Compliance remodel does not include any items listed in the report for the first floor lease space.

End of Handicapped Improvements

Shasta Regional Transportation Agency

Structural Narrative

March 16, 2015

- Possible new location of Roof Access to Suite #202, in the existing Storage / File Server Room. The new roof access would require modification of the existing roof framing, similar to the existing roof access roof framing.

Attachment

See attachment 'B' for existing Roof Framing Plan.

End of Structural Narrative

Shasta Regional Transportation Agency

Plumbing Narrative

March 16, 2015

- At existing Lease Space #201, remove existing sinks in Exam Rooms & Lab, and cap-off associated plumbing lines as required.
- At existing Lease Space #201, remove existing toilet & wall-hung sink in the existing Unisex Restroom to be removed, and-cap-off associated plumbing lines as required.
- At existing Lease Space #201, at new Shared Break Room, provide ADA sink & provide associated plumbing lines for sink, dishwasher & refrigerator.
- At existing Shared Men's & Women's Restrooms, fully remodel restrooms to meet ADA requirements (remodel will require switching the locations of the Men's & Women's Restrooms). Provide all new plumbing fixtures and associated plumbing lines as required.
- At existing Lease Space #202, at existing Kitchen, remodel room into Unisex Restroom. Provide ADA sink, toilet and shower, and associated plumbing lines. (**Note- New 4" waste line for toilet. Plumbing Engineer to verify if waste line can be connected to sewer line from removed Unisex restroom from Existing Lease Space # 201)
- At Existing Lease Space # 201, verify location of water heater (connected to existing Exam Room sinks & existing Unisex Restroom) Use Existing water heater for shared Break Room.

Attachment

See attachment 'C' & 'D' for existing Plumbing Plans.

Plumbing Items to be verified

1) Existing plumbing waste line on plans shows 2" waste lines, even to the existing unisex restroom (at Suite 201). Prior to commencement of construction documents, the owner should have the Plumbing Engineer verify the size of existing waste lines at the second floor, for connection of waste lines for new toilets & urinals.

2) The existing plans do not show locations of water heaters. Prior to commencement of construction documents, the owner should have the Plumbing Engineer verify the location & size of the water heater at Suite 201, (serving the kitchen sink & exam sinks) and connect the new Break Room sink to the existing water heater.

3) The existing plans do not show locations of water heaters. Prior to commencement of construction documents, the owner should have the Plumbing Engineer verify the location & size of the water heater at Suite 202, (serving the kitchen sink) and connect the new Unisex Restroom sink to the existing water heater.

4) The existing plans do not show locations of water heaters. Prior to commencement of construction documents, the owner should have the Plumbing Engineer verify the location & size of the water heater for the Men's Restroom and Women's Restroom (serving the sinks and mop sink) and connect the new Men's Restroom sinks, Women's Restroom sinks & Mop sink to the water heater.

End of Plumbing Narrative

Shasta Regional Transportation Agency

Mechanical Narrative

March 16, 2015

- At Lease Space #202, existing Mechanical Units #6 & #7, and associated ductwork to remain.
- At Lease Space #202, at the new Office, provide supply & return air from Mechanical Unit #6.
- At Lease Space #202, at new Unisex Restroom, add exhaust fan & associated ductwork.
- At Lease Space #202, at existing Storage / File Server Room, add mini-split air conditioner.
- At existing Lease Space #201, existing Mechanical Units #4 & #5, and associated ductwork to be modified as follows:
 - Mechanical Unit #5 currently services the shared Lobby, the shared Men's & Women's Restroom & the Shared Men's and Women's Restroom, & the shared back corridor & a portion of existing Lease Space #201 Offices. Modify the existing ductwork and registers for the offices for the shared new Break Room & shared new Hallway, and shared Conference Room.
 - Mechanical Unit #6 currently services a portion of existing Lease Space #201. Modify existing ductwork for Lease Space # 201 only. (See Attachment "Second Floor Mechanical Plan")
- At Existing Lease Space # 201, at the new Shared Break Room, add exhaust fan & associated ductwork.

Attachment

See Attachment 'E' for existing Mechanical Plan

Mechanical Items to be verified

1) Prior to commencement of construction documents, the Owner should have the mechanical engineer run calculations to determine if an additional mechanical unit should be added to service the new Shared Conference Room. The Shared Conference Room can hold a lot of people and may require cooling when other spaces, connected to the same mechanical unit, do not.

End of Mechanical Narrative

Shasta Regional Transportation Agency

Electrical Narrative

March 16, 2015

- At existing Lease Space #201, electrical light fixtures & mechanical units are connected to subpanel LP3. Modify Electrical as follows:
 - For new Shared Break Room, Shared Conference Room and Shared Hallway connect outlets, light fixtures, switches & mechanical unit #5 to subpanel LP3. Wire for submeter to the above items.
 - For Lease Space #201, connect outlets, light fixtures, switches & Mechanical unit #6 to subpanel LP3. (The above electrical items for Lease Space 201, are to be grouped together on circuits & be separated from the circuits for the Shared spaces, and connected to the new electrical submeter.)
- At existing Lease Space #202, existing subpanel LP4 to remain.
- At Lease Space #202, at the new Office, provide new electrical outlets, light fixtures & switches, connected to subpanel LP4.
- At Lease Space #202, at new Unisex Restroom, connect new exhaust fan to subpanel LP4.
- At Lease Space #202, at existing Storage / File Server Room, connect new mini-split air conditioner unit to subpanel LP4.

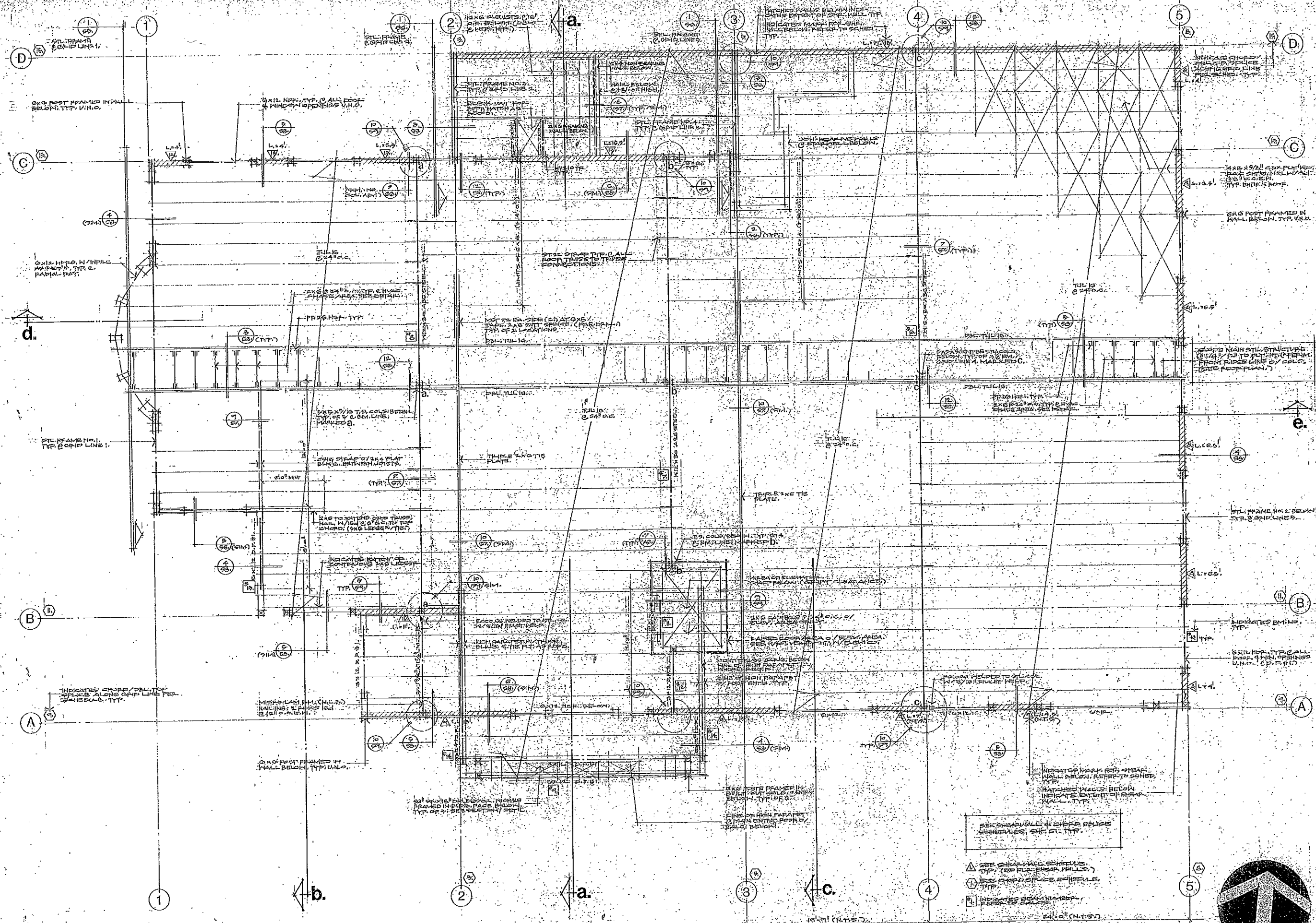
Attachments

See Attachment 'F', 'G' & 'H' for existing Electrical Plans.

Electrical Items to be verified

- 1) Electrical Engineer to verify that the Lobby, Men's Restroom, Women's Restroom, Front Stairs & Back Stairs are connected to a House Subpanel.
- 2) Electrical Engineer to verify that subpanel LP4 has the capacity for the new mini-split air conditioner, for the Storage / File Server Room.
- 3) Electrical Engineer to verify capacity for possible new mechanical unit for the Shared Conference Room at subpanel LP3.

End of Electrical Narrative



ROOF FRAMING PLAN.

REVISIONS: 1/2/20 BY: [REDACTED] PLAN CHK. 10/10/19 BY: [REDACTED] DET. ENG. PLAN CHK.

NOTE: REFER TO SHOP DRAWINGS BY TRUSS JOIST CO. FOR ADDITIONAL INFORMATION.

developed by
G. KNIGHTEN
 & Company
 900 Market Street
 Redding, CA 96001

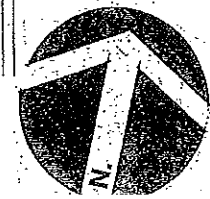
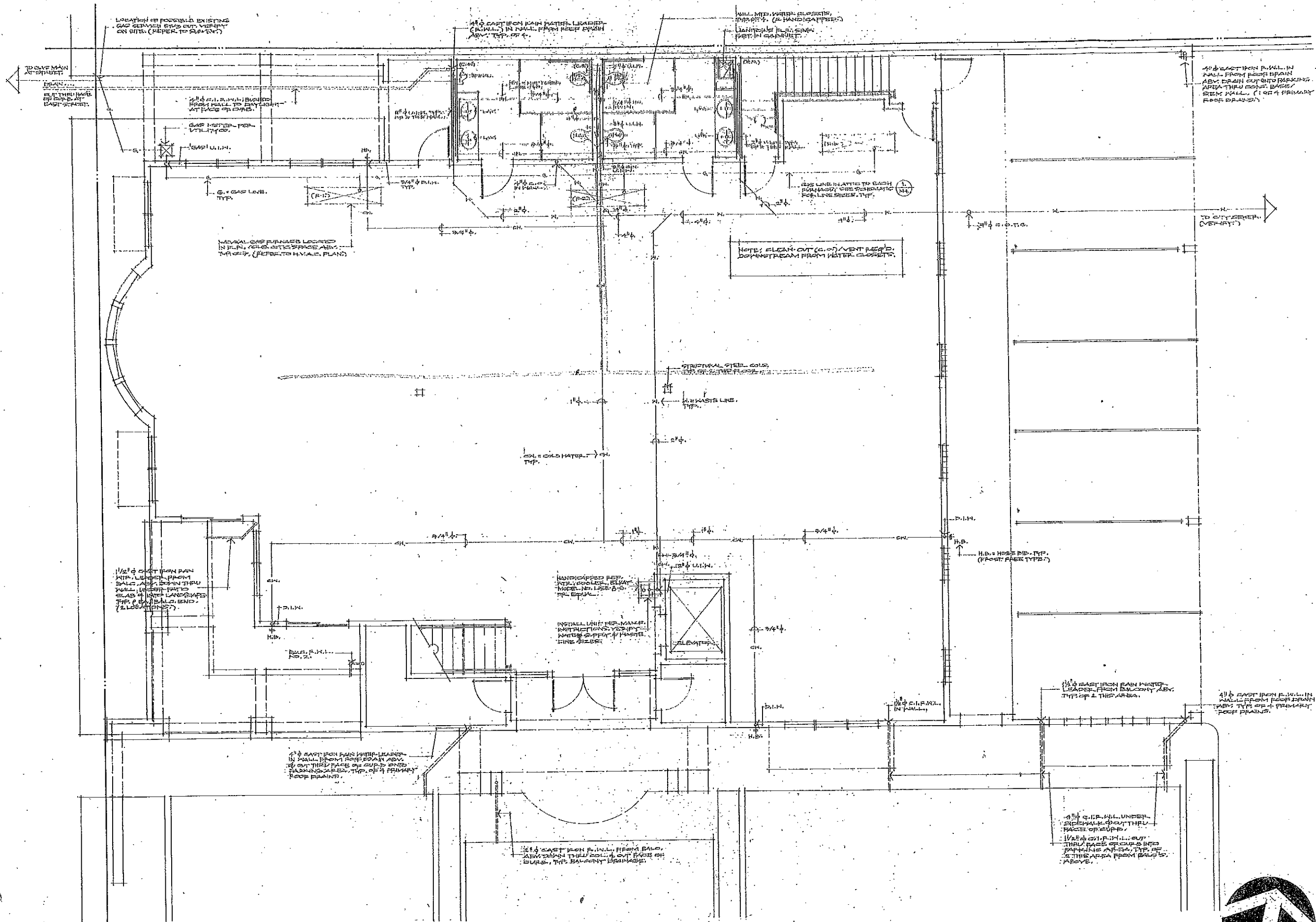
HOLCOMB & ASSOCIATES AIA
ARCHITECTS
 2305 N. BEECHER LANE STE. C REDDING, CA 96002 TEL: (530) 224-1513

EAST STREET OFFICE BUILDING
 Redding, CA

DR	1/2/20
CK	10/10/19
UT	10/10/19
SC	10/10/19
RE	10/10/19

Attachment 'B'

FIRST:
FLOOR PLAN: MECHANICAL/PLUMBING



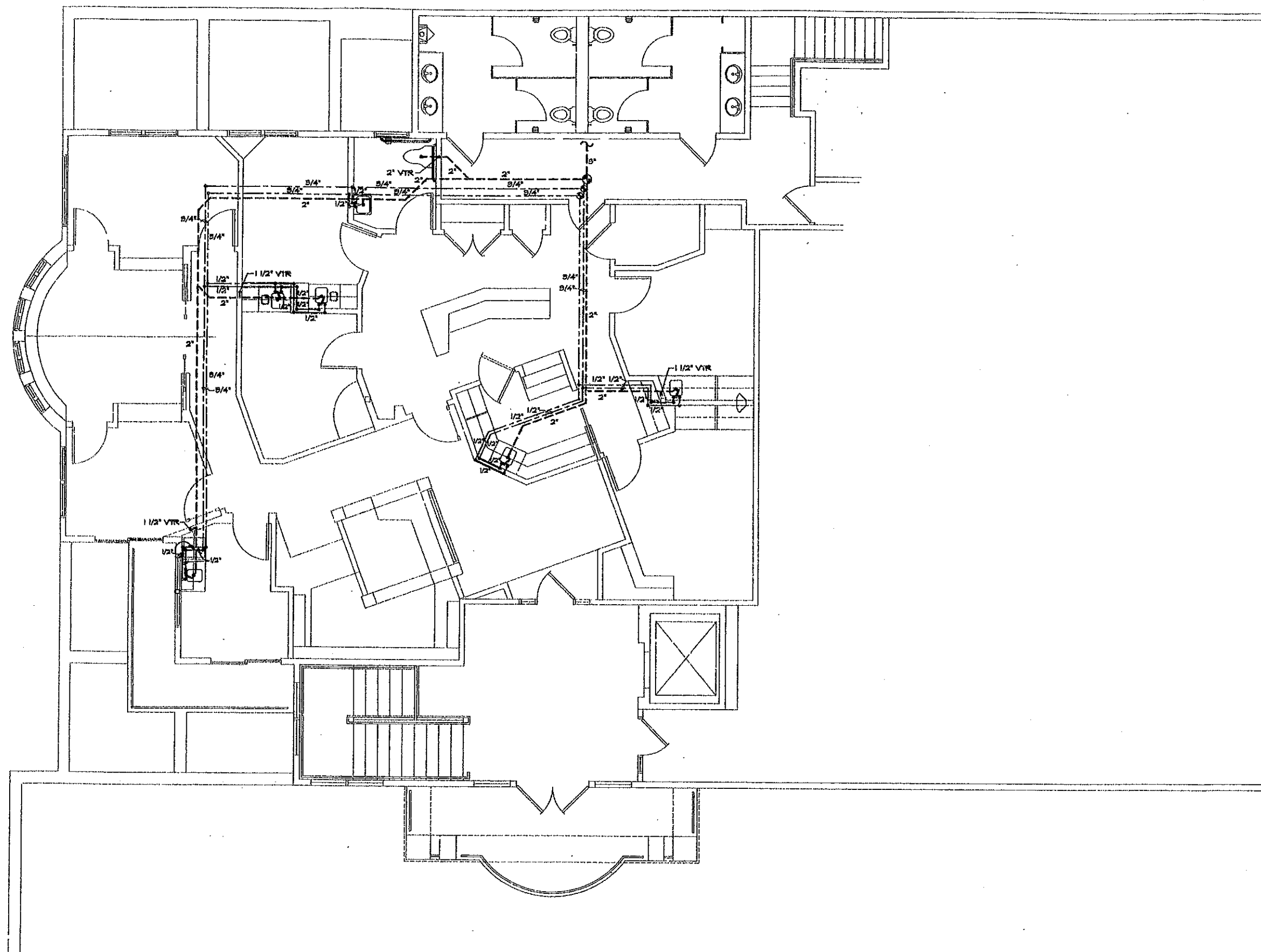
developed by:
G. KNIGHTEN & Company,
900 Market Street
Redding, CA 96001

HOLCOMB & ASSOCIATES
A.I.A.
ARCHITECTS
2395 N. BACHELLI LANE, STE. C REDDING, CA 96002
TEL: (916) 224-5433

EAST STREET OFFICE BUILDING.
Redding, CA.

DR.	DATE
CK.	
DT.	MARCH, 1978
SC.	
NO.	

Attachment 'c'



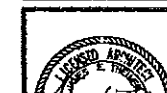
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Attachment 'D'

TRILOGY
ARCHITECTURE • URBAN DESIGN • RESEARCH
2515 PARK MARINA DR., SUITE 101 • REDDING, CA 96001
TELEPHONE (530) 243-3000 • FAX (530) 243-3019

START DATE: 9-30-99
REVISIONS:
COR BLDG DEPT: 10-7-99
DRAWN BY: GR
CHECKED BY: ET
PROJECT NO: M1020
PLOT DATE: 10-5-99

CLIENT:
MEDICAL OFFICE
FOR
DR. GREENE
1255 EAST STREET
SUITE 201
REDDING, CALIFORNIA



PLUMBING PLAN

PLUMBING PLAN
SCALE: 1/4"=1'-0"

LINE OF BEAM GRID BELOW.

LINE OF BEAM GRID & BALCONY
& 2ND FLOOR BELOW.

NOTE: If a corridor is located as shown on shts. a2. & a3, fire/smoke dampers may be required in corridor registers.

SECOND:

FLOOR PLAN: MECHANICAL/H.V.A.C. REVISED 8/1/13 BY: [REDACTED]

ZONE FOUR.
(21,082 SQ. FT. / 4 TONS)

ZONE FIVE.
(21,492 SQ. FT. / 4 TONS)

ZONE SIX.
(21,620 SQ. FT. / 4 TONS)

ZONE SEVEN.
(21,550 SQ. FT. / 4 TONS)

developed by:
G. KNIGHTEN & Company
900 Market Street
Redding, CA 96001

HOLCOMB & ASSOCIATES
A.I.A.
ARCHITECTS
2395 N. BECHTOLD LANE, STE. C, REDDING, CA 96002
TEL: (916) 224-5433

**EAST STREET
OFFICE
BUILDING**
Redding, CA

DR.	1/1/13
CK.	
DL.	MARCH 1998
SP.	
BY	

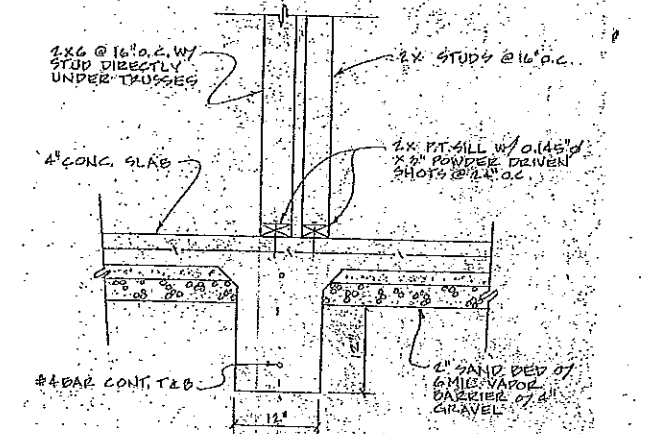
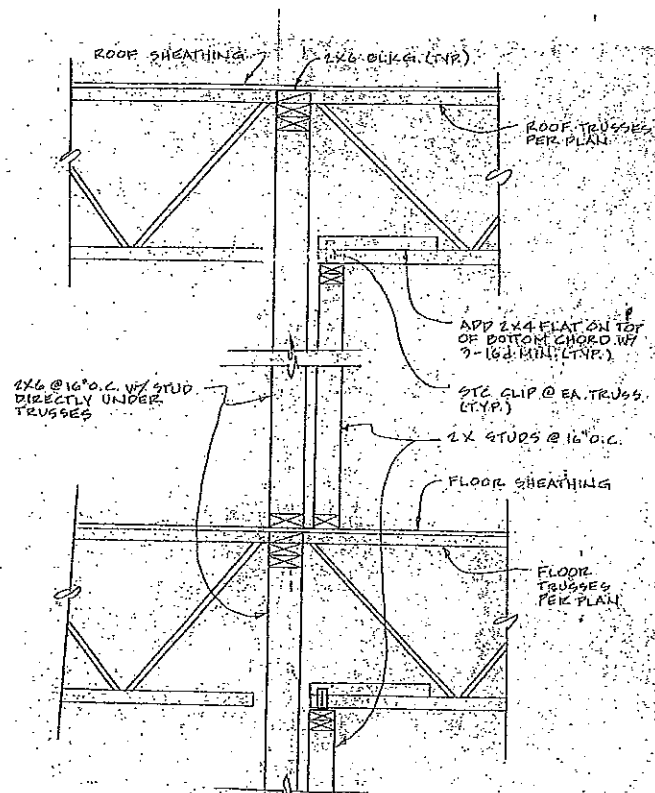
m2

Attachment 'E'

NOTE:

SEE ARCHITECTURAL REFLECTED CEILING PLAN
FOR ACTUAL LOCATION OF SA/DIFFUSERS & RA
GRILLES WITHIN T-BAR CEILING GRID.

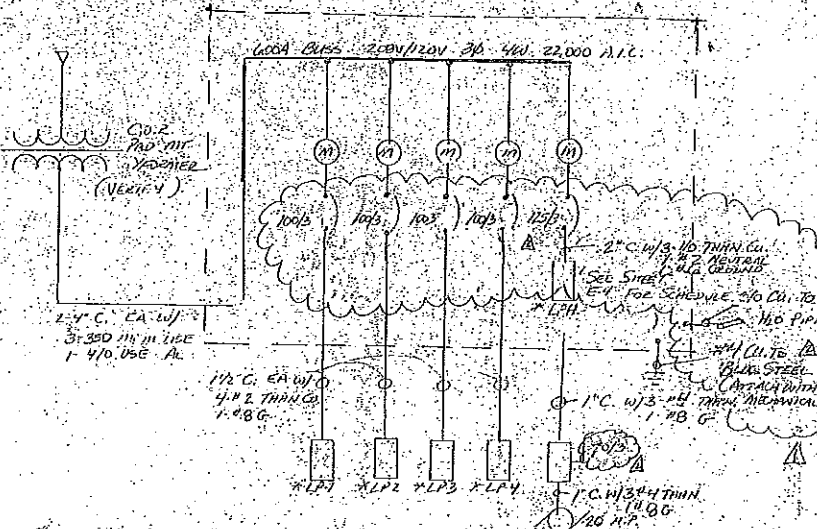




1 Bearing Wall @ Bathroom.
SCALE: 1/8\"/>

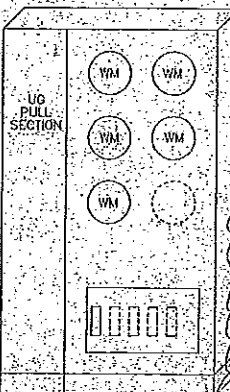
REVISED: 12/99 BY: [Signature] ADDED RETAIL
PER PLAN CH.

SINGLE-LINE DIAGRAM:



*NOTE: VERIFY SHORT CIRCUIT RATINGS OF SUBFEED BREAKERS WITH CITY OF REDDING ELECTRIC DEPARTMENT. USE SERIES RATED PANELBOARD BREAKERS IN CONJUNCTION WITH TABLE BELOW.

MSB PANEL ELEVATION:



NOTES

1. PROVIDE SUBFEED BREAKERS WITH 10000 AIC MINIMUM
2. PROVIDE MINIMUM 62,000 AIC PANEL BUS BRACING
3. ENCLOSURE SHALL BE NEMA 3R OUTDOOR WEATHERPROOF
4. PROVIDE ENGRAVED NAMEPLATES FOR EACH UNIT SUBFEED
5. PROVIDE MAIN LUGS (LANDINGS) FOR REQUIRED UTILITY FEEDER
6. USE SIEMENS SERIES RATED EQUIPMENT PER ATTACHED TABLE. PROVIDE TYPE C027H SUBFEED BREAKERS WITH TYPE BL BRANCH BREAKERS.

Siemens Sentron Panelboards
Series Connected Short Circuit Ratings

The term "Select Compartment Rating" refers to the expression of ampere circuit breaking in a compartment that allows a circuit breaker to be tested and rated in accordance with the requirements of the applicable standards. This is performed in testing a test compartment has been tested and rated in accordance with the requirements of the applicable standards. The label of 40 on this panel is a 40 ampere circuit breaker with a 40 ampere rating. These are the applicable standards: UL 489, 489C, 489D, 489E, 489F, 489G, 489H, 489I, 489J, 489K, 489L, 489M, 489N, 489O, 489P, 489Q, 489R, 489S, 489T, 489U, 489V, 489W, 489X, 489Y, 489Z, 489AA, 489AB, 489AC, 489AD, 489AE, 489AF, 489AG, 489AH, 489AI, 489AJ, 489AK, 489AL, 489AM, 489AN, 489AO, 489AP, 489AQ, 489AR, 489AS, 489AT, 489AU, 489AV, 489AW, 489AX, 489AY, 489AZ, 489BA, 489BB, 489BC, 489BD, 489BE, 489BF, 489BG, 489BH, 489BI, 489BJ, 489BK, 489BL, 489BM, 489BN, 489BO, 489BP, 489BQ, 489BR, 489BS, 489BT, 489BU, 489BV, 489BW, 489BX, 489BY, 489BZ, 489CA, 489CB, 489CC, 489CD, 489CE, 489CF, 489CG, 489CH, 489CI, 489CJ, 489CK, 489CL, 489CM, 489CN, 489CO, 489CP, 489CQ, 489CR, 489CS, 489CT, 489CU, 489CV, 489CW, 489CX, 489CY, 489CZ, 489DA, 489DB, 489DC, 489DD, 489DE, 489DF, 489DG, 489DH, 489DI, 489DJ, 489DK, 489DL, 489DM, 489DN, 489DO, 489DP, 489DQ, 489DR, 489DS, 489DT, 489DU, 489DV, 489DW, 489DX, 489DY, 489DZ, 489EA, 489EB, 489EC, 489ED, 489EE, 489EF, 489EG, 489EH, 489EI, 489EJ, 489EK, 489EL, 489EM, 489EN, 489EO, 489EP, 489EQ, 489ER, 489ES, 489ET, 489EU, 489EV, 489EW, 489EX, 489EY, 489EZ, 489FA, 489FB, 489FC, 489FD, 489FE, 489FF, 489FG, 489FH, 489FI, 489FJ, 489FK, 489FL, 489FM, 489FN, 489FO, 489FP, 489FQ, 489FR, 489FS, 489FT, 489FU, 489FV, 489FW, 489FX, 489FY, 489FZ, 489GA, 489GB, 489GC, 489GD, 489GE, 489GF, 489GG, 489GH, 489GI, 489GJ, 489GK, 489GL, 489GM, 489GN, 489GO, 489GP, 489GQ, 489GR, 489GS, 489GT, 489GU, 489GV, 489GW, 489GX, 489GY, 489GZ, 489HA, 489HB, 489HC, 489HD, 489HE, 489HF, 489HG, 489HH, 489HI, 489HJ, 489HK, 489HL, 489HM, 489HN, 489HO, 489HP, 489HQ, 489HR, 489HS, 489HT, 489HU, 489HV, 489HW, 489HX, 489HY, 489HZ, 489IA, 489IB, 489IC, 489ID, 489IE, 489IF, 489IG, 489IH, 489II, 489IJ, 489IK, 489IL, 489IM, 489IN, 489IO, 489IP, 489IQ, 489IR, 489IS, 489IT, 489IU, 489IV, 489IW, 489IX, 489IY, 489IZ, 489JA, 489JB, 489JC, 489JD, 489JE, 489JF, 489JG, 489JH, 489JI, 489JJ, 489JK, 489JL, 489JM, 489JN, 489JO, 489JP, 489JQ, 489JR, 489JS, 489JT, 489JU, 489JV, 489JW, 489JX, 489JY, 489JZ, 489KA, 489KB, 489KC, 489KD, 489KE, 489KF, 489KG, 489KH, 489KI, 489KJ, 489KK, 489KL, 489KM, 489KN, 489KO, 489KP, 489KQ, 489KR, 489KS, 489KT, 489KU, 489KV, 489KW, 489KX, 489KY, 489KZ, 489LA, 489LB, 489LC, 489LD, 489LE, 489LF, 489LG, 489LH, 489LI, 489LJ, 489LK, 489LL, 489LM, 489LN, 489LO, 489LP, 489LQ, 489LR, 489LS, 489LT, 489LU, 489LV, 489LW, 489LX, 489LY, 489LZ, 489MA, 489MB, 489MC, 489MD, 489ME, 489MF, 489MG, 489MH, 489MI, 489MJ, 489MK, 489ML, 489MN, 489MO, 489MP, 489MQ, 489MR, 489MS, 489MT, 489MU, 489MV, 489MW, 489MX, 489MY, 489MZ, 489NA, 489NB, 489NC, 489ND, 489NE, 489NF, 489NG, 489NH, 489NI, 489NJ, 489NK, 489NL, 489NM, 489NO, 489NP, 489NQ, 489NR, 489NS, 489NT, 489NU, 489NV, 489NW, 489NX, 489NY, 489NZ, 489OA, 489OB, 489OC, 489OD, 489OE, 489OF, 489OG, 489OH, 489OI, 489OJ, 489OK, 489OL, 489OM, 489ON, 489OO, 489OP, 489OQ, 489OR, 489OS, 489OT, 489OU, 489OV, 489OW, 489OX, 489OY, 489OZ, 489PA, 489PB, 489PC, 489PD, 489PE, 489PF, 489PG, 489PH, 489PI, 489PJ, 489PK, 489PL, 489PM, 489PN, 489PO, 489PP, 489PQ, 489PR, 489PS, 489PT, 489PU, 489PV, 489PW, 489PX, 489PY, 489PZ, 489QA, 489QB, 489QC, 489QD, 489QE, 489QF, 489QG, 489QH, 489QI, 489QJ, 489QK, 489QL, 489QM, 489QN, 489QO, 489QP, 489QQ, 489QR, 489QS, 489QT, 489QU, 489QV, 489QW, 489QX, 489QY, 489QZ, 489RA, 489RB, 489RC, 489RD, 489RE, 489RF, 489RG, 489RH, 489RI, 489RJ, 489RK, 489RL, 489RM, 489RN, 489RO, 489RP, 489RQ, 489RR, 489RS, 489RT, 489RU, 489RV, 489RW, 489RX, 489RY, 489RZ, 489SA, 489SB, 489SC, 489SD, 489SE, 489SF, 489SG, 489SH, 489SI, 489SJ, 489SK, 489SL, 489SM, 489SN, 489SO, 489SP, 489SQ, 489SR, 489SS, 489ST, 489SU, 489SV, 489SW, 489SX, 489SY, 489SZ, 489TA, 489TB, 489TC, 489TD, 489TE, 489TF, 489TG, 489TH, 489TI, 489TJ, 489TK, 489TL, 489TM, 489TN, 489TO, 489TP, 489TQ, 489TR, 489TS, 489TT, 489TU, 489TV, 489TW, 489TX, 489TY, 489TZ, 489UA, 489UB, 489UC, 489UD, 489UE, 489UF, 489UG, 489UH, 489UI, 489UJ, 489UK, 489UL, 489UM, 489UN, 489UO, 489UP, 489UQ, 489UR, 489US, 489UT, 489UU, 489UV, 489UW, 489UX, 489UY, 489UZ, 489VA, 489VB, 489VC, 489VD, 489VE, 489VF, 489VG, 489VH, 489VI, 489VJ, 489VK, 489VL, 489VM, 489VN, 489VO, 489VP, 489VQ, 489VR, 489VS, 489VT, 489VU, 489VV, 489VW, 489VX, 489VY, 489VZ, 489WA, 489WB, 489WC, 489WD, 489WE, 489WF, 489WG, 489WH, 489WI, 489WJ, 489WK, 489WL, 489WM, 489WN, 489WO, 489WP, 489WQ, 489WR, 489WS, 489WT, 489WU, 489WV, 489WW, 489WX, 489WY, 489WZ, 489XA, 489XB, 489XC, 489XD, 489XE, 489XF, 489XG, 489XH, 489XI, 489XJ, 489XK, 489XL, 489XM, 489XN, 489XO, 489XP, 489XQ, 489XR, 489XS, 489XT, 489XU, 489XV, 489XW, 489XX, 489XY, 489XZ, 489YA, 489YB, 489YC, 489YD, 489YE, 489YF, 489YG, 489YH, 489YI, 489YJ, 489YK, 489YL, 489YM, 489YN, 489YO, 489YP, 489YQ, 489YR, 489YS, 489YT, 489YU, 489YV, 489YW, 489YX, 489YY, 489YZ, 489ZA, 489ZB, 489ZC, 489ZD, 489ZE, 489ZF, 489ZG, 489ZH, 489ZI, 489ZJ, 489ZK, 489ZL, 489ZM, 489ZN, 489ZO, 489ZP, 489ZQ, 489ZR, 489ZS, 489ZT, 489ZU, 489ZV, 489ZW, 489ZX, 489ZY, 489ZZ									
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GENERAL ELECTRICAL NOTES:

1. Verify location of all electrical/utility panels, fixtures and outlets with Owner and architect prior to installation.
2. Provide a minimum of 48\"/>

LIGHTING FIXTURE SCHEDULE:

Mark	Type	Manuf. & Cat. No.	Lamps	Remarks
A	Floor Grid	Light Concept, # 10244	4-240 ES	Dead switching for 50% lighting.
B	Floor Grid	Light Concept, # 10631	2-240 ES	Exterior fixture.
C	Recessed	Juno, 10122	45W-R30 spot	Gyp. board ceiling mounted, interior fix.
D	Recessed	Juno, 10122	75W-R30 Flood	Exterior fixture
E	Floor Grid	Light Concept, # 10631	2-240 ES	18\"/>

ELECTRICAL LOAD CALCULATION: (Per 220-3 NEC)

I. LIGHTING LOADS (N.E.C. ART. 220-1)	
General Lighting Load	35756 VA
Sign Window Load (N.E.C. ART. 220-13)	0 VA
Parking Lot Fix. (N.E.C. ART. 220-10)	0 VA
Sign Lighting (N.E.C. ART. 220-11)	1500 VA
TOTAL	37256 VA
II. RECEPTACLE LOADS (N.E.C. 220-3(C)(6))	
Non-continuous duty (125% of 100 VA/EA)	12500 VA
Continuous duty (220-13)	10000 VA
Summing (220-10)	22500 VA
Continuous duty (220-10)(B)	0 VA
TOTAL	11456 VA
III. SPECIAL LOADS (N.E.C. 220-10)(A)(1)(b))	
Equipment loads at handouts rated VA & 100% (Water Heaters 81500VA/EA)	6000 VA
TOTAL	6000 VA
IV. AIR CONDITIONING LOADS (N.E.C. 220-21) & 125%	
20-TONS COMPRESSION @ 1200VA/TON	24000 VA
AIR HANDLERS @ 1000VA/EA	4000 VA
TOTAL	28000 VA
V. MISC. MOTOR LOADS (N.E.C. 430-22(A)(1) 8125%	
Refrigeration Loads	21304 VA
20 H.P. ELEVATOR LOAD	21384 VA
TOTAL	42688 VA
VI. LARGEST MOTOR (N.E.C. 220-14) 825%	
1 MOTOR @ 20-HORSEPOWER	5346 VA
TOTAL	5346 VA
TOTAL LOAD:	111426 VA/200V/1.714
DIVERSITY:	83.3 AMP ADDITIONAL= 329.4 AMP

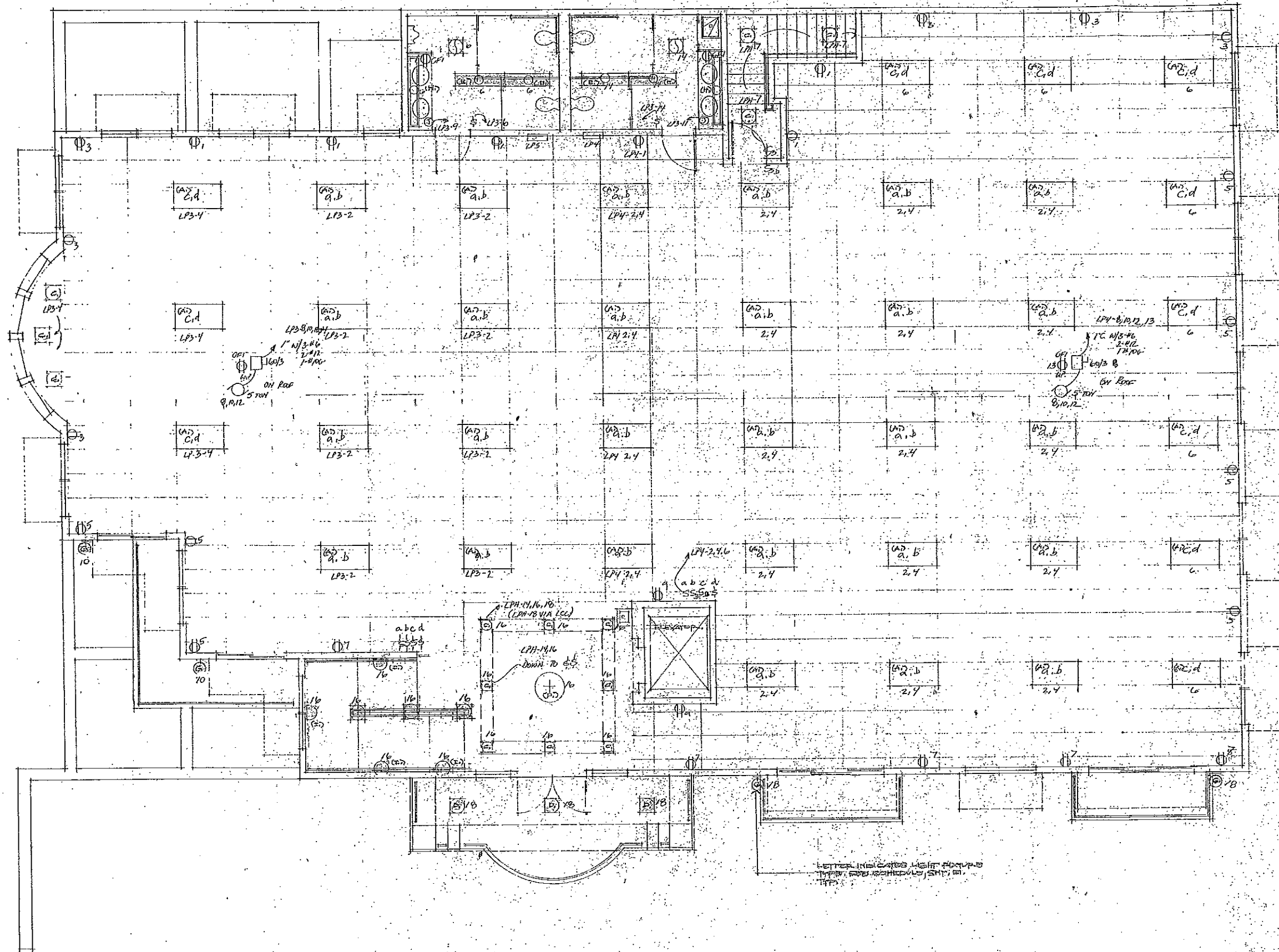
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2395 N. BEECHER LANE, STE. C REDDING, CA 96002
TEL: (916) 224-5433

EAST STREET OFFICE BUILDING
Redding, CA

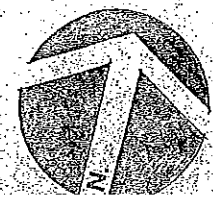
DR	1
CK	
DT	MANHATTAN
SC	
NO	

Attachment 'F'



SECOND:
FLOOR PLAN: ELECTRICAL LIGHTING

SEE AFFECTED CEILING PLANS, SHEETS A7 & A8 FOR ACTUAL LOCATION OF LIGHT FIXTURES WITHIN CEILING GRID.



developed by:
G. KNIGHTEN & Company
900 Market Street
Redding, CA 96001

HOLCOMB & ASSOCIATES
ARCHITECTS
AIA
2395 N. BECHELLI LANE, STE. C, REDDING, CA 96002
TEL: (916) 224-5433

EAST STREET OFFICE BUILDING
Redding, CA

DR	
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3

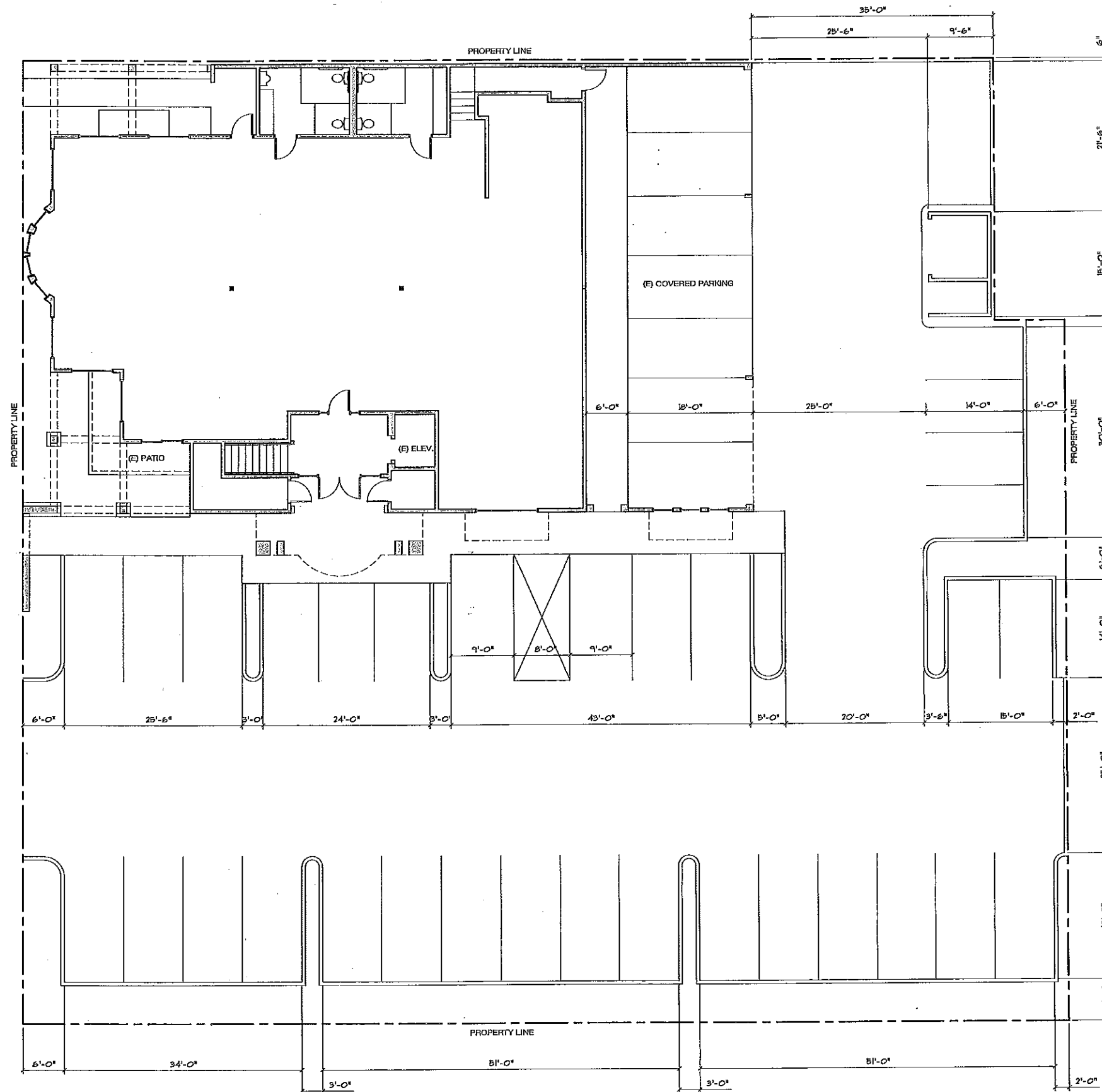
Attachment 'G'

PANEL LP-1 SCHEDULE

TYPE OF LOAD AND LOCATION	EST. LOAD VA	BREAKER AMP	POLE	CKT. NO.	CKT. NO.	BREAKER AMP	POLE	EST. LOAD VA	TYPE OF LOAD AND LOCATION
OUTLETS - N. WALL	570	20	1	1	1	20	1	20	LIGHTS - A, B
OUTLETS - N. NE. WALL	570	20	1	3	2	20	1	20	LIGHTS - A, B
OUTLETS - E. S. WALL	570	20	1	5	3	20	1	20	LIGHTS - REST ROOM
OUTLETS - S. WALL	570	20	1	7	4	20	1	20	LIGHTS - REST ROOM
WATER HEATER	1200	20	1	9	5	60	3	60	AIR CONDITIONER
SPARE	20	1	1	11	6	20	1	20	
SPARE	20	1	1	13	7	20	1	20	
SPARE	20	1	1	15	8	20	1	20	
SPARE	20	1	1	17	9	20	1	20	
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	Shasta Regional Transportaion Agency	Job #2210		
	<i>Cost Estimate- March 19th, 2015</i>			
		SCHEDULED	FOOTNOTE	
		VALUE		
	Site Work	29,000	'A'	
	Demolition	20,000		
	Framing & Drywall			
	Suite 201	3,220		
	Suite 202	4,125		
	Shared	5,500		
	Doors, Frames & Hardware			
	Suite 201	3,750		
	Suite 202	3,200		
	Shared	3,350		
	Cabinetry			
	Suite 201	0		
	Suite 202	700		
	Shared	5,600		
	Windows			
	Suite 201	4,000		
	Suite 202	0		
	Shared	0		
	Flooring			
	Suite 201	3,900		
	Suite 202	10,200	'B' & 'I'	
	Shared	11,000		
	Insulation			
	Suite 201	300	'J'	
	Suite 202	300	'J'	
	Shared	500	'J'	
	Acoustical Ceiling			
	Suite 201	5,040	'C'	
	Suite 202	14,500	'C'-'D' & 'I'	
	Shared	5,910	'C'	
	FRP-Wainscot			
	Suite 201	0		
	Suite 202	880		
	Shared	2,530		
	Painting			
	Suite 201	3,300		
	Suite 202	1,745	'E'	
	Shared	3,900		

[illegible]



EXISTING SITE PLAN
SCALE: 3/16" = 1'-0"



KIBLER & KIBLER
ARCHITECTURE & ENGINEERING

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LOCATION SHOWN IS PROHIBITED.

LICENSE STAMP



CONSULTANTS

PROJECT NAME

**SHASTA REGIONAL
TRANSPORTATION
AGENCY**

**SHEET TITLE
EXISTING
SITE PLAN**

**DRAWING STATUS
PRELIMINARY
DESIGN**

REVISIONS

DATE

DRAWN: SK

CHECKED: SK

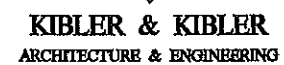
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SCALE: 3/16" = 1'-0"

JOB NO. 2210

SHEET NO.

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LICENSED ARCH
 SHELLEY G. KIDLER
 C-26370
 REG. 8/31/00
 STATE OF CALIFORNIA

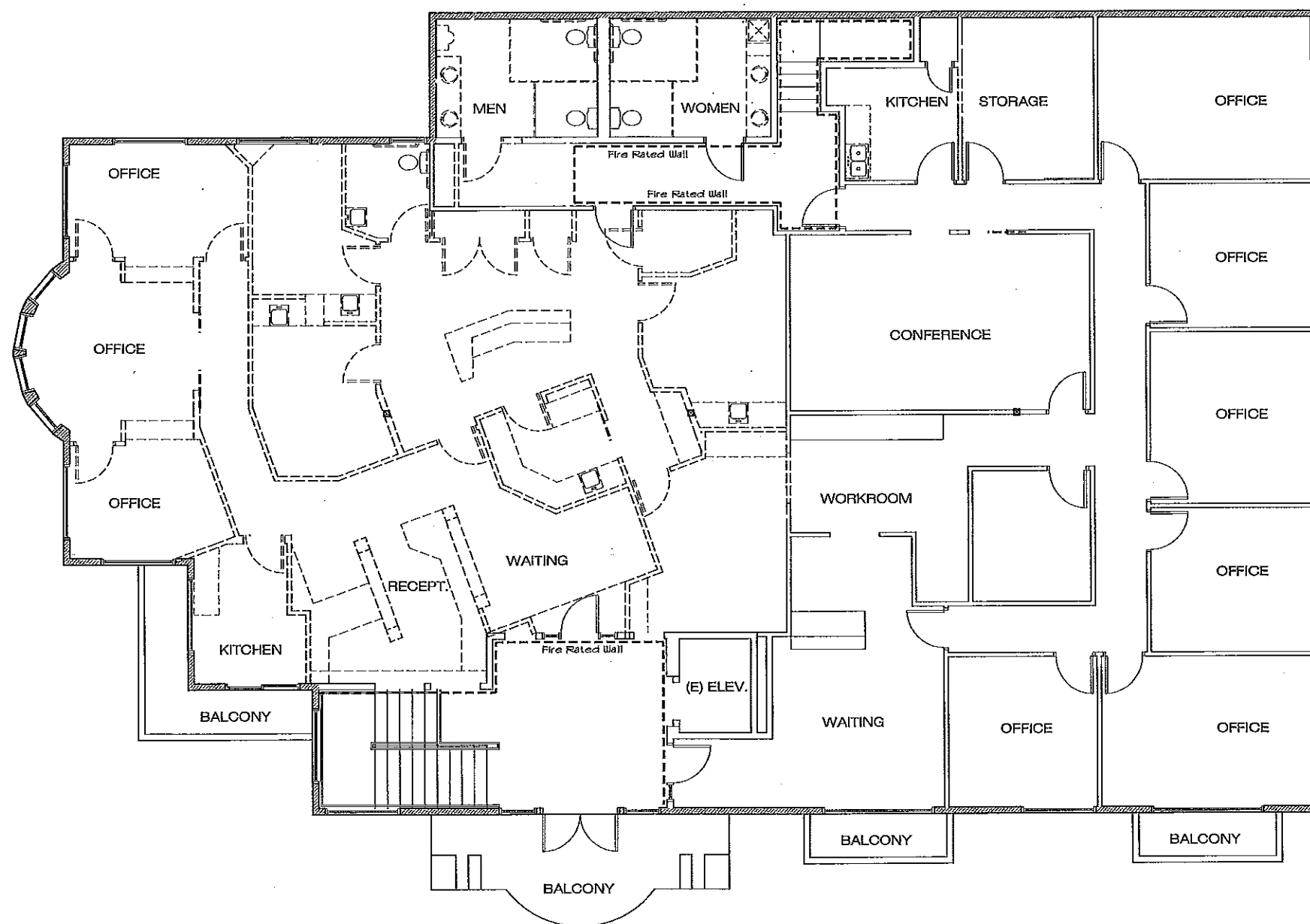
PROJECT NAME

SHEET TITLE
DEMOLITION
FLOOR PLAN

REVISIONS DATE

SHEET NO.

1.0



DEMOLITION FLOOR PLAN

SCALE, 3/16" = 1'-0"

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PROJECT NAME

**SHASTA REGIONAL
TRANSPORTATION
AGENCY**

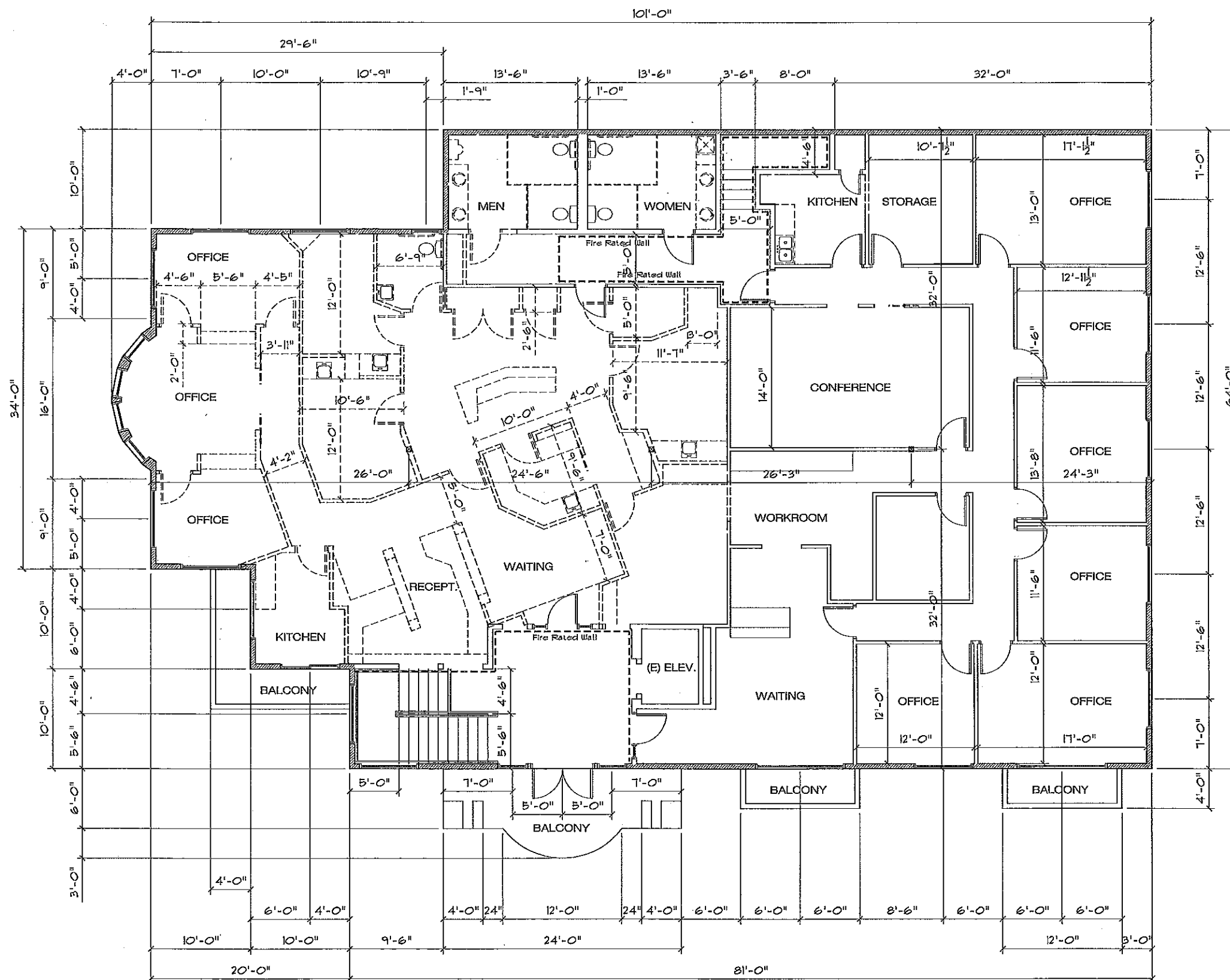
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DEMOLITION
FLOOR PLAN

DRAWING STATUS
PRELIMINARY
DESIGN

REVISIONS	DATE

DRAWN:	6K
CHECKED:	6K
DATE:	3-18-2015
SCALE:	3/16" = 1'-0"
JOB NO.	2210

SHEET NO.



DEMOLITION FLOOR PLAN

SCALE: 5/16" = 1'-0"



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CONSULTANTS

PROJECT NAME

**SHASTA REGIONAL
TRANSPORTATION
AGENCY**

**SHEET TITLE
IMPROVEMENT
FLOOR PLAN**

**DRAWING STATUS
PRELIMINARY
DESIGN**

REVISIONS

REVISIONS	DATE

DRAWN:

6K

CHECKED:

6K

DATE:

3-18-2015

SCALE:

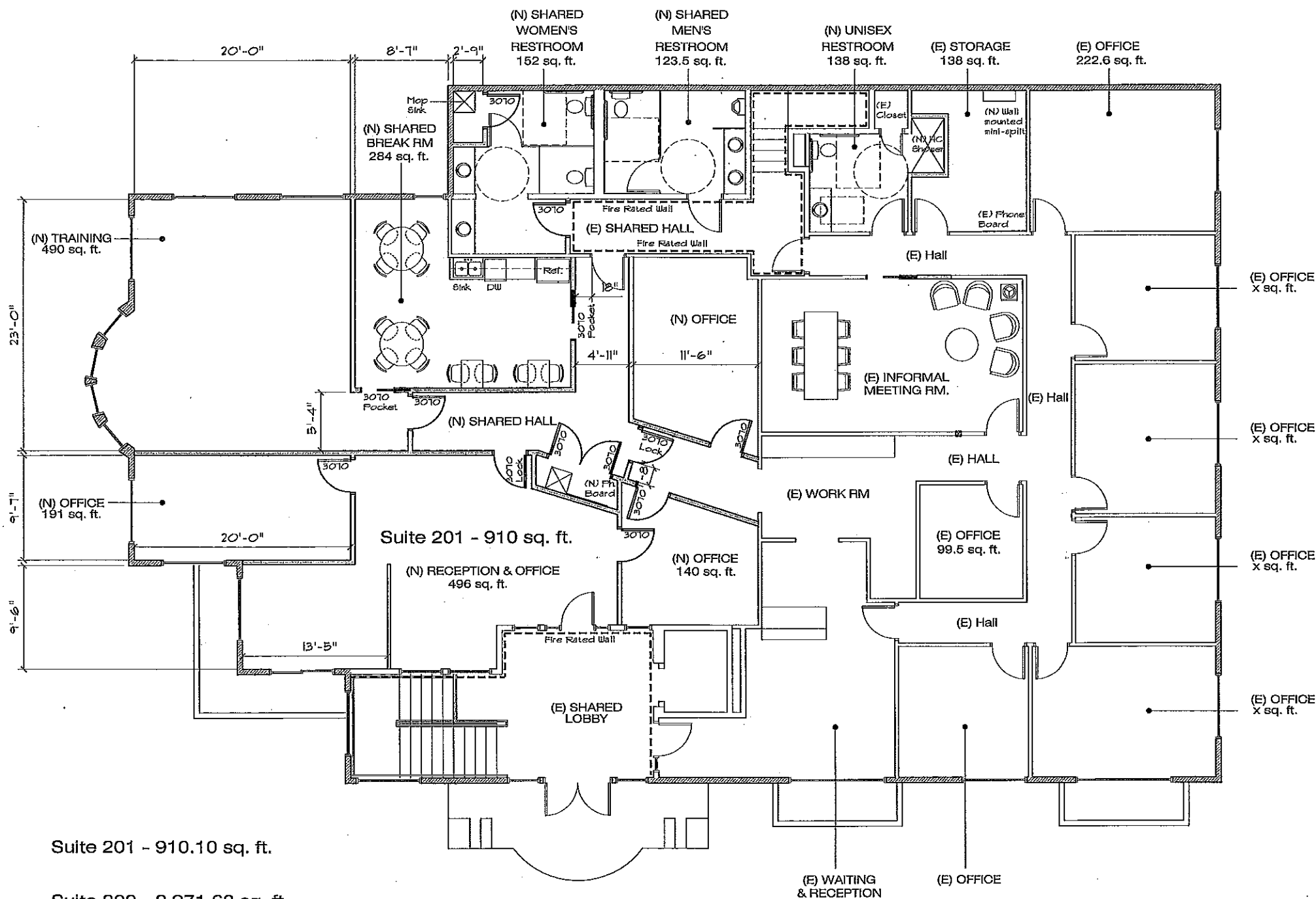
3/16"=1'-0"

JOB NO.

2210

SHEET NO.

20



Suite 201 - 910.10 sq. ft.

Suite 202 - 2,971.63 sq. ft.
(Only major remodel spaces shown colored)

Shared Spaces - 2,026.52 sq. ft.

Total 2nd Flr - 5,908.25 sq. ft.

IMPROVEMENT FLOOR PLAN

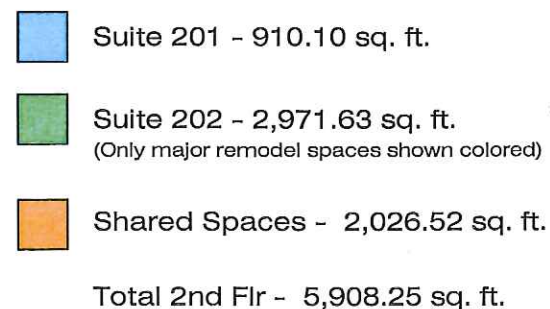
SCALE: 3/16" = 1'-0"



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**SHASTA REGIONAL
TRANSPORTATION
AGENCY**

DRAWING STATUS
PRELIMINARY
DESIGN

2.1

IMPROVEMENT FLOOR PLAN

SCALE: 3/16" = 1'-0"